

TOWNSHIP OF MORRIS



MT. KEMBLE AVENUE REDEVELOPMENT PLAN

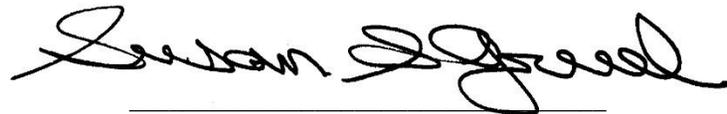
MAY 2018



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The original of this report was signed and
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INTRODUCTION AND PROCESS

The facility located at 95 Mt. Kemble Avenue in the Township of Morris and Morristown was originally developed as All Souls Hospital, which dates to 1919. Atlantic Health Systems currently owns the property at 95 Mt. Kemble Avenue, along with several properties on the opposite side of the street.

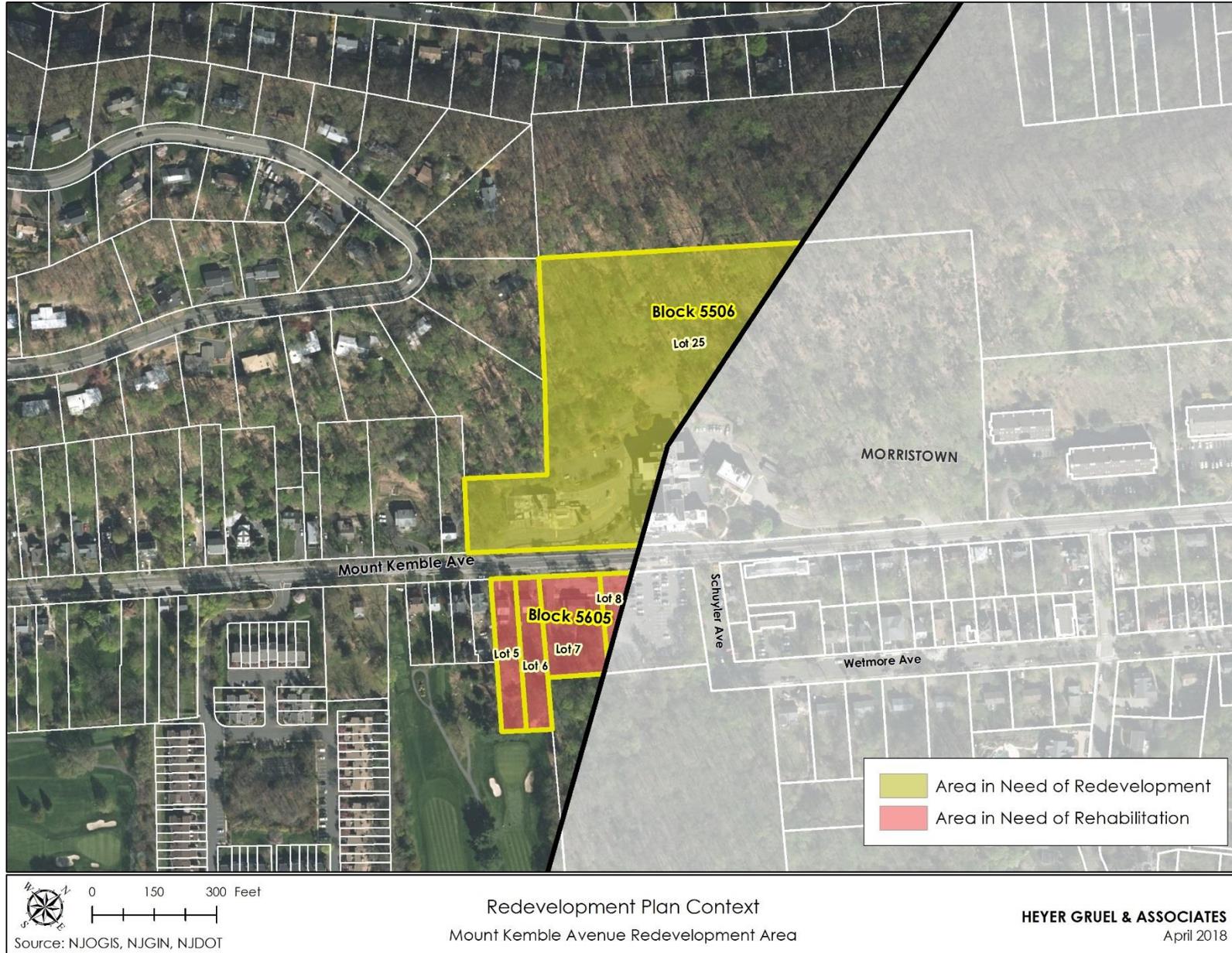
The AHS facility is nearly at the end of its useful life as a medical facility, which led the Morris Township Committee to pursue the designation of the property as an area in need of redevelopment and / or rehabilitation in accordance with the standards in the Local Redevelopment and Housing Law ("LRHL"). On January 26, 2016, the Committee directed the Township Planning Board to conduct a preliminary investigation and hold a public hearing to review the findings of the report.

Heyer, Gruel, and Associates prepared a preliminary investigation report entitled "Mt. Kemble Avenue Redevelopment Study", dated May 2016. The report was filed with the Township and a public hearing, noticed per the requirements of the LRHL, was conducted by the Township Planning Board on July 18, 2016. The Township Planning Board recommended that the Township Committee designate the main hospital property located at 95 Mt. Kemble Avenue as a non-condemnation area in need of redevelopment, and recommended that the remaining properties on the south and

east side of Mt. Kemble Avenue be designated as an area in need of rehabilitation. The Township Committee took action at its August 17, 2016 meeting based on the recommendation of the Planning Board. The Mount Kemble Avenue Redevelopment Area ("Area") was formally designated as a non-condemnation area in need of redevelopment and an area in need of rehabilitation by Committee Resolution 168-16.

In the interim between the designation of the Area and the preparation of a redevelopment plan, the Township entered into a settlement agreement with Fair Share Housing Center concerning the Township's affordable housing fair share obligations ("Settlement Agreement"). The Area was included as the site for an inclusionary development project to satisfy the Township's Third Round prospective need.

This Redevelopment Plan is the next step in the process. It contains the elements required by the LRHL, sets forth goals and objectives for the area, and provides use and design standards to govern the redevelopment of the Area in a manner consistent with the Township's goals and the requirements of the Settlement Agreement.



STATUTORY REQUIREMENTS

According to the Local Redevelopment and Housing Law (N.J.S.A. 40A:12A-1, et seq.), the redevelopment plan shall include an outline for the planning, development, redevelopment or rehabilitation of the project area sufficient to indicate:

1. Its relationship to definite local objectives as to appropriate land uses, density of population and improved traffic and public transportation, public utilities, recreational and community facilities and other public improvements;
2. Proposed land uses and building requirements in the project area;
3. Adequate provision for the temporary and permanent relocation as necessary of residents in the project area including an estimate of the extent to which decent, safe and sanitary dwelling units affordable to displaced residents will be available to them in the existing local housing market;
4. An identification of any property within the redevelopment area proposed to be acquired in accordance with the redevelopment plan;
5. Any significant relationship of the redevelopment plan to:
 - a. The Master Plans of contiguous municipalities;
 - b. The Master Plan of the County in which the municipality is located; and
 - c. The State Development and Redevelopment Plan adopted pursuant to the "State Planning Act" P.L. 1985, C398 (C52:18A-196 et al.).
6. As of the date of the adoption of the resolution finding the area to be in need of redevelopment, an inventory of all housing units affordable to low and moderate income households, as defined pursuant to section 4 of P.L. 1985 c.222 (C.52:27D-304), that are to be removed as a result of implementation of the redevelopment plan, whether as a result of subsidies or market conditions listed by affordability level, number of bedrooms, and tenure.
7. A plan for the provision, through new construction or substantial rehabilitation of one comparable, affordable replacement housing unit for each affordable housing unit that has been occupied at any time within the last 18 months, that is subject to affordability controls and that is identified as to be removed as a result of implementation of the redevelopment plan.

This redevelopment plan includes each of these required sections, as applicable, serving as a guide for the redevelopment of the Mount Kemble Avenue property in the Township of Morris.

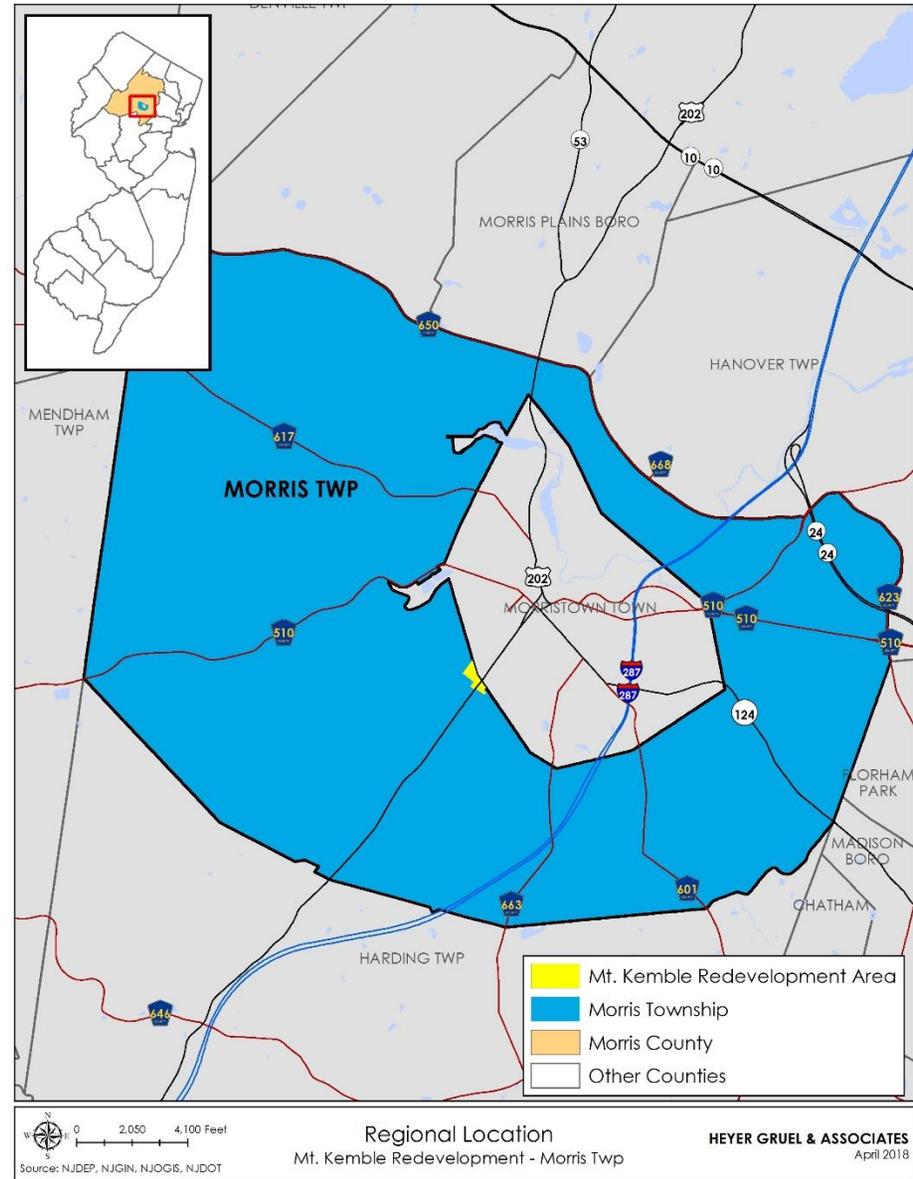
EXISTING CONDITIONS

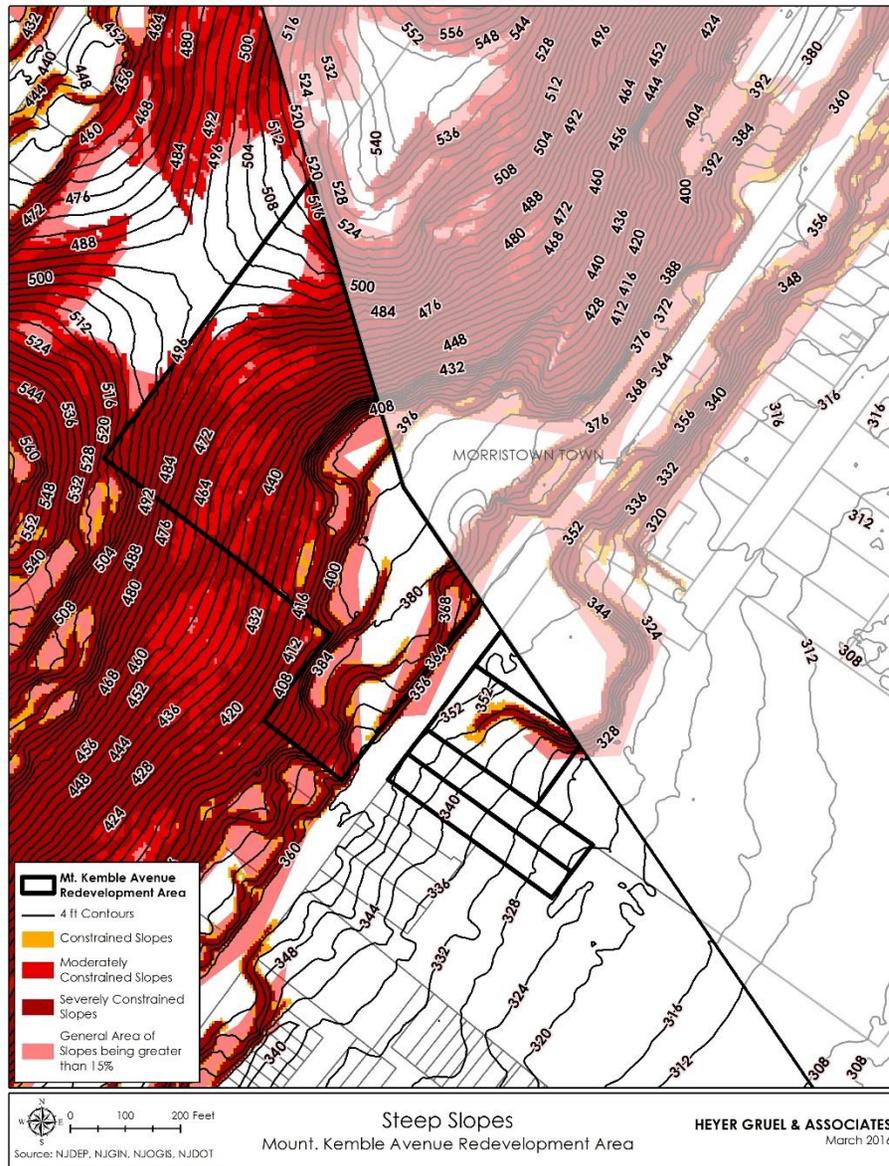
Location and Description

The Area comprises five lots in Morris Township. The bulk of the Area is located at 95 Mount Kemble Avenue (also known as US-202). The developed portion of this property contains a physical rehabilitation facility that is owned and operated by Atlantic Health Systems. The site was originally developed as All Souls Hospital, which dates to 1919. The facility has been added onto and renovated over the years, with the most substantial and recent additions occurring between 1958 and 1960. The portion of the site within Morris Township consists of the utility annex building, some of the parking area, and a wooded, steeply sloped portion of the site that remains undeveloped. The main rehabilitation facility building, the Thebaud Building, and a portion of the site parking are located in Morristown Town.

Across Mount Kemble Avenue are four lots that make up the remainder of the Study Area. Two of the lots are developed with single family homes, one is a consignment shop, and one is a portion of a parking lot for the rehabilitation facility. The majority of the parking lot is located in Morristown.

Morris Township is located in the southern portion of Morris County. It is bordered to the north by Parsippany-Troy Hills,





Morris Plains, and Hanover, to the east by Florham Park and Madison, to the south by Harding, and to the west by Mendham and Randolph. Morris Township surrounds Morristown.

Most of the Township's developable land area is devoted to residential land uses in a mix of densities. Several pockets of commercial development within the Township exist along East Hanover, Ridgedale and Speedwell Avenues, but the Township is mainly defined by extensive areas of preserved land and open space and low density residential development. Interstate 287 and Highways 202 and 24 are major thoroughfares that traverse the Township.

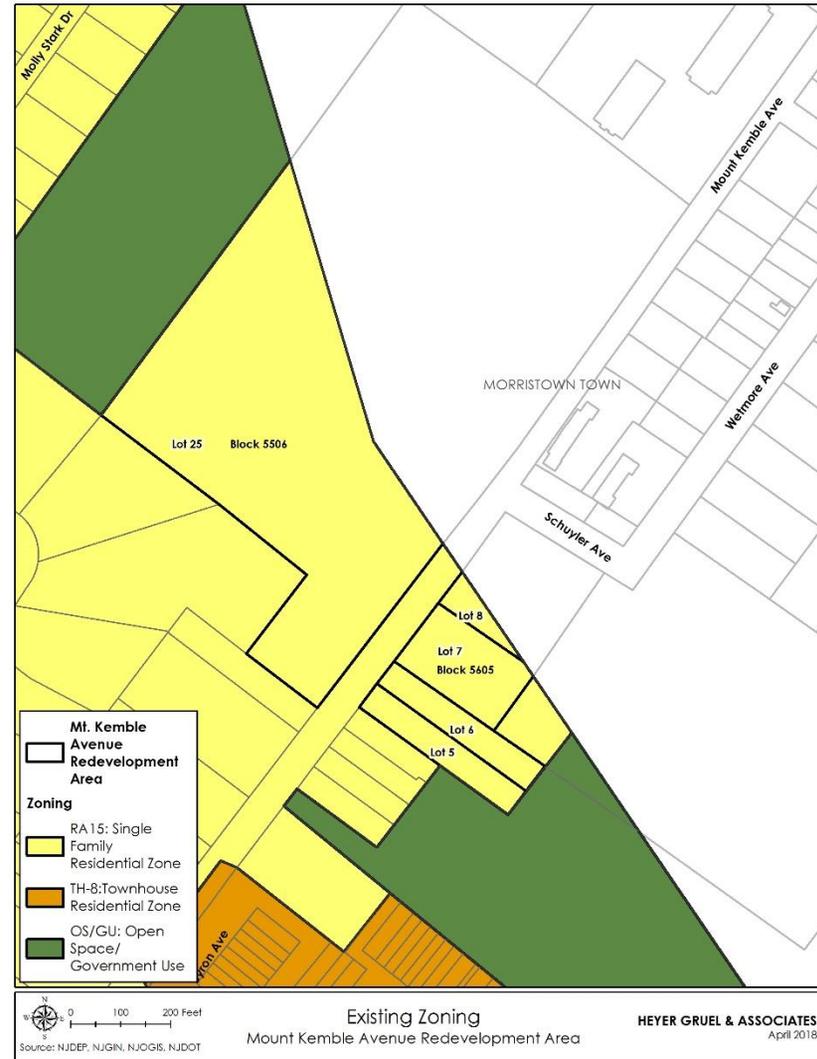
Existing Zoning and Land Use

The entire Area is located in the RA-15, residential zone, in the south-central portion of Morris Township. The RA-15 Zone permits single-family detached dwellings, agricultural uses, cluster residential developments, parks and other municipal uses, country clubs and golf courses, a variety of accessory uses, and renewable energy systems. Essential services, places of worship, schools, private recreation facilities, and in home professional offices are conditionally permitted. The zone requires a minimum lot size of 15,000 square feet, which provides a density of just under three dwelling units per acre.

Most of the surrounding area is also in the RA-15 zone, but a portion of the Township's TH-8 Townhouse Zone is located in close proximity to the south and east, and areas immediately to the north and south are in the OS/GU Open Space / Government Use Zone. The TH-8 zone permits townhouse developments at a density of eight units to the acre, and the OS/GU zone permits public parks and recreation facilities, government offices and services, schools, other municipal uses, places of worship, and single family residences on large lots.

The portion of the Area to the north and east of Mount Kemble Avenue is developed with the mechanical annex to, and a portion of the AHS rehabilitation facility and former hospital. The portion of the area to the south and west of Mount Kemble

Avenue is developed with two single family dwellings and a residential style building that houses the "Bargain Box" thrift store.



PLAN PRINCIPLES, GOALS, AND OBJECTIVES

The Township seeks to utilize the tools provided by the Redevelopment Planning process to offer a designated redeveloper the flexibility needed to redevelop an environmentally constrained site developed with aging buildings and infrastructure that have diminished in productivity. In doing so, the Township will satisfy a portion of its legally mandated affordable housing obligation.

Goal

The goal of this Redevelopment Plan is to provide a set of standards that will enable the development of an attractive, mixed-tenure, inclusionary housing development that protects the character of the Township and the critical environmental features present in the Area.

Objectives

- Provide a set-aside of affordable housing units to satisfy the Township's obligation with regard to its Housing Plan and Settlement Agreements.
- Establish a framework that enables the redevelopment of the Area in the Township in conjunction with the portions of the property in Morristown.
- Encourage context sensitive design and development that considers the surrounding area and the character of the Township.

- Preserve and protect wooded, steeply sloped areas and other environmentally sensitive features.

RELATIONSHIP OF THE PLAN TO TOWNSHIP LAND DEVELOPMENT REGULATIONS

This Redevelopment Plan creates two new zoning districts, the Mt. Kemble Apartment (MKA) District, and the Mt. Kemble Townhouse (MKT) District. These Districts supersede the existing zoning for the properties in the Area.

Any deviation from the Redevelopment Plan standards, which would typically result in a “d” variance, shall be addressed as an amendment to the Plan. Neither the Planning Board nor the Board of Adjustment shall have authority to allow deviations from the standards contained in the Plan, which would result in a “d” variance pursuant to N.J.S.A. 40:55D-70d.

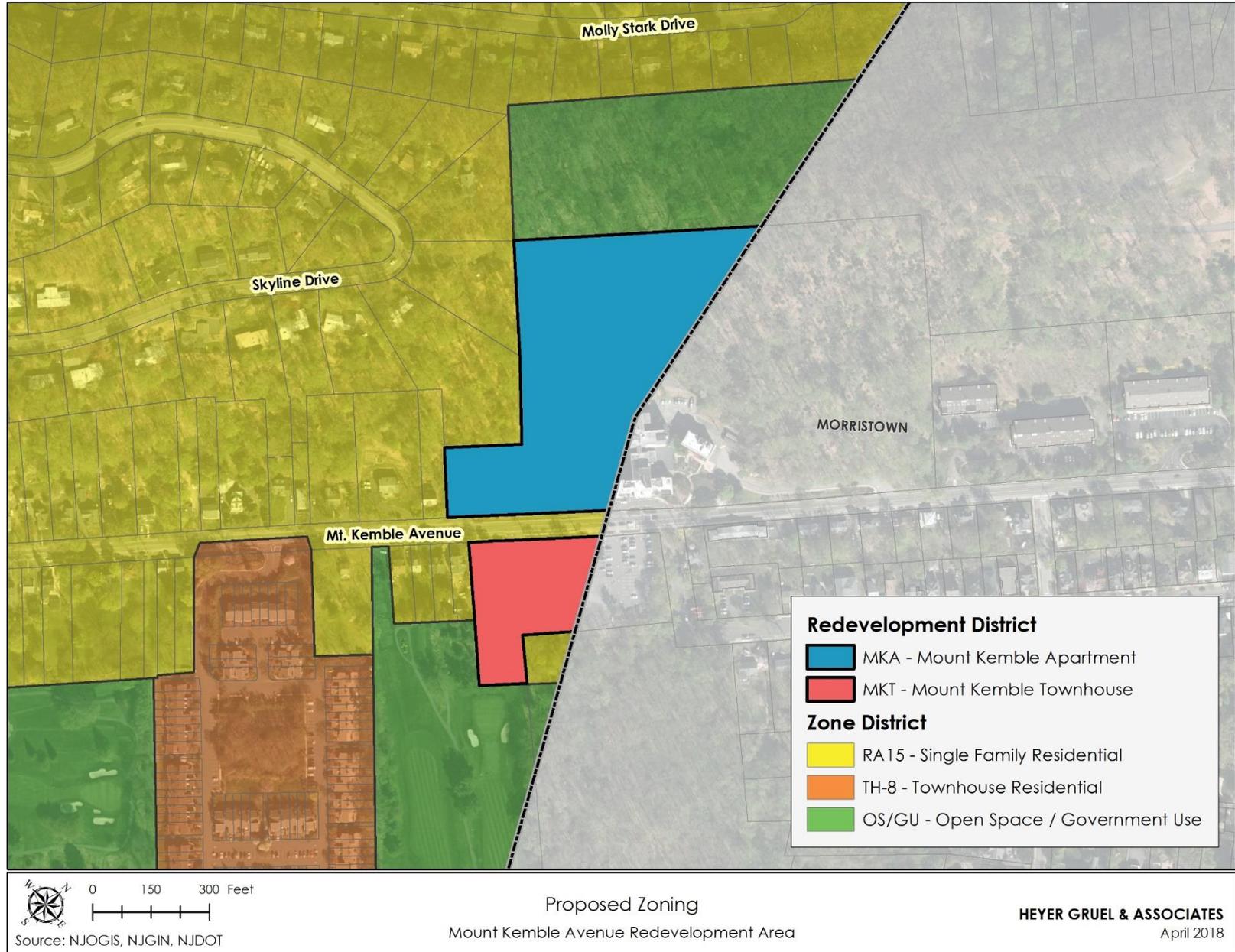
The Planning Board shall have power to grant relief from other bulk and dimensional requirements of this Plan to the same extent as the Board may grant relief from bulk and dimensional requirements pursuant to the N.J.S.A. 40:55D-70c and the power to grant waivers from the standards of the Plan to the same extent as the Board may grant relief from site plan regulations pursuant to N.J.S.A. 40:55D-51.

Any standards not specifically addressed in this Plan shall be governed by the standards in the Township of Morris Zoning Ordinance (Chapter 95), the Township of Morris Land Development Ordinance (Chapter 57), and any other

applicable standards. The Planning Board shall have the power to grant relief from the requirements of these ordinances as permitted by the Municipal Land Use Law, N.J.S.A. 40:55D-1, et seq. (“MLUL”) where jurisdiction is conferred upon it.

All development must be approved by the Planning Board and shall be submitted through the normal site plan and subdivision procedures as identified by N.J.S.A. 40:55D, et seq.

Final adoption of this Redevelopment Plan by the Township Committee shall be considered an amendment to the Township Zoning Ordinance and Official Zoning map. Unless otherwise noted, definitions in this Plan are consistent with the Township’s Zoning and Land Use Ordinance.



STANDARDS APPLICABLE TO THE MKA AND MKT DISTRICTS

Residential Density and Affordable Housing Requirements

No deviation from the following density requirements is permissible as part of this plan.

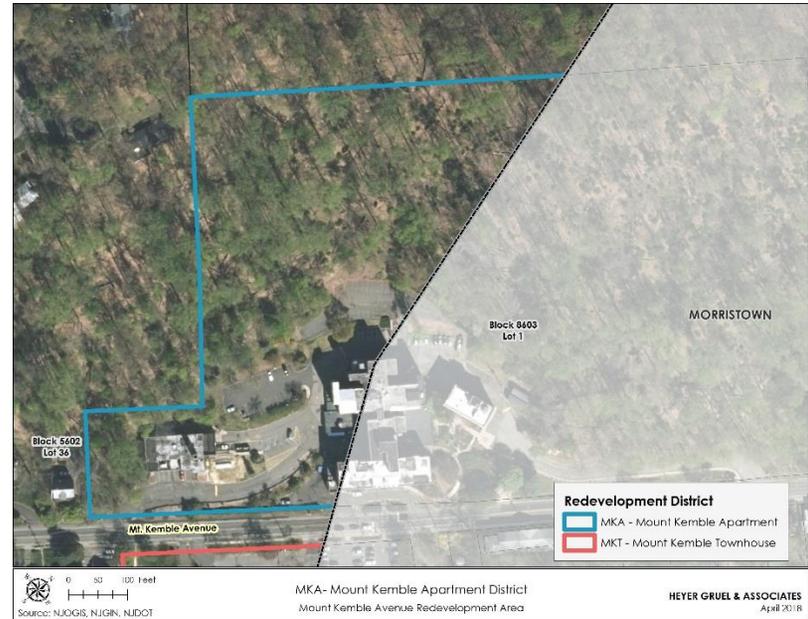
Required Number of Residential Units	
Maximum Number of Dwelling Units in MKA and MKT District Combined	115 Units
Maximum Number of Dwelling Units in MKT District	26 Units
Required Income Restricted Rental Units in MKA District	23 Units

In accordance with the Township's Court-approved settlement agreement, residential development within the Area is required to include 23 affordable, family-rental units. Additional discussion of affordable housing requirements is located in the Administrative and Procedural section of this Plan.

STANDARDS OF THE MKA – MT. KEMBLE APARTMENT DISTRICT

Purpose

The Mount Kemble Apartment District is intended to effectuate the redevelopment of Block 5506, Lot 25, also known as 95 Mount Kemble Avenue. The standards that follow permit the development of rental apartments with an inclusionary component in a manner that is sensitive to the environmental context of the property and the character of the Township.



Permitted Uses

Principal Uses

- Dwellings, Multifamily

Accessory Uses

- Any use customarily incidental to a principal permitted use.
- Surface or Structured Parking
- Roof- or building-mounted solar energy systems as provided in §95-34.4 of the Township Ordinance.
- Building-integrated solar energy systems as provided in §95-34.4 of the Township Ordinance.

- Geothermal energy systems as provided in §95-34.4 of the Township Ordinance.

Bulk Standards

Any deviation from the following standards will require variance relief. The approving Board shall have the power to grant relief to the same extent as the Board may grant relief from bulk and dimensional requirements pursuant to the MLUL at N.J.S.A. 40:55D-70.c.

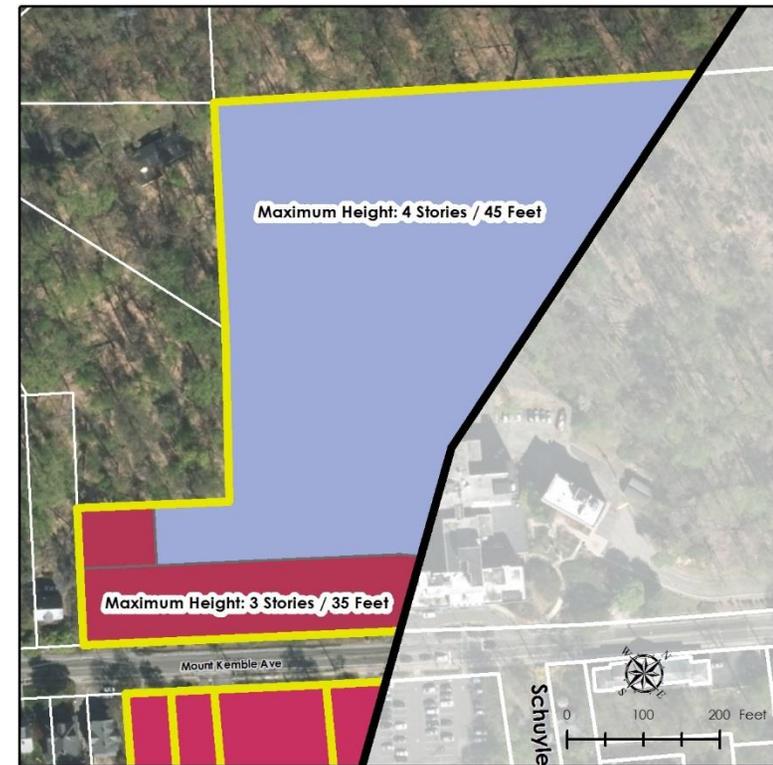
Bulk Standards for Mount Kemble Apartment District

Minimum Lot Area	7 Acres
Minimum Building Setback to Mount Kemble Avenue	50 feet
Minimum Building Setback to Municipal Boundary (Block 8603, Lot 1 in Morristown)	0 feet*
Minimum Building Setback to Block 5602, Lot 36	60 feet
Minimum Building Setback to All other Property Lines	30 feet
Maximum Lot Coverage (all impervious surfaces)	40%
Maximum Building Coverage	20%
Maximum Building Height	4 Stories / 45 Feet**

*This district envisions the redevelopment of the AHS property, which is split by the municipal boundary, as a single entity. Structures are permitted to straddle the municipal boundary.

**The following supplemental standards apply to building height:

1. The maximum permitted height within 100 feet of Mount Kemble Avenue and Block 5602, Lot 36 shall be 3 stories and 35 feet, as shown in the image below:



2. Building height shall be measured from the average of the proposed finished grade at the corners of the buildings to the top of the building roof.
3. Permitted exceptions to the maximum height regulations shall be consistent with the Township Code at §95-30.B.

Supplemental Standards

Buffer Requirement

All landscaped buffer designed to provide all-season screening shall be maintained between the development and the adjacent properties. Where possible, existing landscaping and natural features shall be preserved. Supplemental plantings shall include a mix of evergreen and deciduous plantings as part of a landscape plan.

1. A minimum of 50 feet shall be provided to Block 5602, lot 36.
2. No buffer shall be required to the Morristown Municipal Boundary
3. A minimum of 25 feet shall be provided to all other property lines.

Conservation of Sensitive Environmental Features

In order to meet the objectives of this Redevelopment Plan, any project in the MKA District should take steps to minimize the disturbance of steeply sloped areas.

1. The applicant shall comply with the requirements of the Township Land Development Ordinance pertaining to environmentally sensitive features at §57-160.
2. All steeply sloped portions of the property (areas with slopes of 15% or greater) outside the proposed limit of disturbance shall be placed into a conservation easement to restrict future development.

Minimum Off-Street Parking Requirements

1. Parking shall be provided in accordance with the following schedule:
 - Studio / 1 Bedroom Unit – 1.5 Parking Spaces
 - 2+ Bedroom Unit – 2.0 Parking Spaces
2. Parking for a development in the Area may be provided on the adjacent property (Block 8603, Lot 1 in Morristown) if developed by the same entity.
3. Structured parking may be provided within a residential building, or as a standalone structure.
4. Where structured parking is provided, the structure shall be designed and situated so as to limit its visibility from Mount Kemble Avenue.

STANDARDS OF THE MKT – MT. KEMBLE TOWNHOUSE DISTRICT

Purpose

The Mount Kemble Townhouse District is intended to effectuate the redevelopment of the portion of the Area on the southeast side of Mount Kemble Avenue. The properties included in this District are an area in need of rehabilitation. The standards that follow permit the development of townhouses in a manner consistent with other existing townhouse zone districts and the residential character of the Township.



Permitted Uses

Principal Uses

- Stacked Townhouses – A townhouse that has two dwelling units attached vertically with each unit having its own private entrance to the outside.
- Townhouses
- Single-Family Dwelling Units

Accessory Uses

- Any use customarily incidental to a principal permitted use.
- Surface or Structured Parking
- Roof- or building-mounted solar energy systems as provided in §95-34.4 of the Township Ordinance.
- Building-integrated solar energy systems as provided in §95-34.4 of the Township Ordinance.
- Geothermal energy systems as provided in §95-34.4 of the Township Ordinance.

Bulk Standards

Any deviation from the following standards will require variance relief. The approving Board shall have the power to grant relief to the same extent as the Board may grant relief from bulk and dimensional requirements pursuant to the MLUL at N.J.S.A. 40:55D-70.c.

Bulk Standards for Mount Kemble Townhouse District

Minimum Lot Area	2 Acres
Minimum Building Setback to Mount Kemble Avenue	20 feet
Minimum Building Setback to Municipal Boundary (Block 8602, Lot 1 in Morristown)	5 feet
Minimum Building Setback to Block 5605, Lot 4	25 feet
Minimum Building Setback to all other property lines	25 feet
Minimum Parking Setback to Residential Properties (except Municipal Boundary / Block 8602, Lot 1 in Morristown)	25 feet
Maximum Lot Coverage (all impervious surfaces)	60%
Maximum Building Coverage	40%
Maximum height	3 Stories / 35 feet*

*Non-habitable garages and storage rooms with at least half of their interior volume located below average finished grade shall

not count as a story or toward the maximum permitted height for building measurement purposes.

Supplemental Standards

Building Requirements

The design and construction of Townhouses shall abide by the following standards:

1. Each dwelling unit shall have not fewer than two exposures
2. There shall be no more than ten dwelling units in a single group of dwelling units.
3. No more than two adjacent dwelling units may be constructed without providing a front wall setback of not less than two feet.
4. Architectural features or changes in color and/or material shall be used to create a vertical distinction between adjacent townhouses or stacked townhouses.
5. Each stacked townhouse shall have a cohesive exterior aesthetic – there shall be no distinction in building material or color between dwelling units within a stacked townhouse.
6. The exterior walls of all dwelling units shall be faced with brick, quarried stone, stucco, wood or other materials suitable in quality, durability, and appearance; subject to approval by the Planning Board.

Fences and Walls

Fences and walls shall comply with the standards in the Township Ordinance at §95-36.D, except that structural retaining walls necessary for the development of the site may exceed the permitted maximum height if their necessity is demonstrated to the Board and its professionals.

Minimum Off-Street Parking Requirements

1. Parking shall be provided in accordance with RSIS (N.J.A.C. 5:21).
2. Parking for a development in the Area may be provided on the adjacent property (Block 8602, Lot 1 in Morristown) if developed by the same entity.
3. All parking shall be provided behind the principal structures. No parking is permitted between a structure and Mount Kemble Avenue.

DESIGN STANDARDS APPLICABLE TO MKA AND MKT DISTRICTS

Any deviation from the following design standards will result in the need for a design exception from the approving Board. The Board shall have the power to grant such exceptions to the same extent as it is permitted to grant exceptions from site plan ordinance requirements pursuant to the MLUL at N.J.S.A. 40:55D-51.

Where the standards in the Plan conflict with existing Township land use standards, the Plan takes precedence. Where specific standards are not addressed in this plan, the existing Township Zoning (Chapter 95), Land Development (Chapter 57), and other relevant Ordinance standards shall apply.

Architectural Standards

1. The exterior walls of buildings shall not have large blank or featureless expanses. No blank walls may be constructed that are greater than 30 feet in length facing a right of way.
2. The use of real materials, rather than imitations such as brick veneer, is encouraged. Vinyl siding, plastic roof tiles, thin brick veneer or EIFS (Exterior Insulation Finish Systems) are prohibited at ground level and discouraged on upper floors.
3. Materials used near sidewalks and adjacent to the entrance shall be durable and compatible with other building materials.

4. All hipped or gabled roofs ends shall have eaves. Eaves shall be continuous, unless overhanging a balcony or porch.
5. Balconies are permitted to wrap around corners.

Landscaping and Open Space

1. All areas not devoted to structures, roads, driveways, access ways, storage areas, parking, or sidewalks shall be landscaped and maintained in accordance with a landscape plan approved by the Planning Board.
2. The landscape plan shall include non-invasive plant species and utilize native species to the extent feasible.
3. Street Trees
 - a. Street trees shall be provided along property frontages every 35 feet.
 - b. Street trees species shall be subject to Planning Board approval.
4. Parking Areas
 - a. Landscaping shall be required in and around parking areas. Landscaping shall consist of evergreen shrubs and plantings to provide a perimeter buffer to minimize headlight glare, ornamental and/or shade trees, and ground cover in a design acceptable to the Planning Board.

Lighting

1. Illumination Levels
 - a. Average Illumination Levels
 - i. Parking Lots – 0.5 – 2.0 foot-candles
 - ii. Pedestrian Walkways – 0.5 – 1.0 foot-candles
 - b. Lighting levels shall maintain a maximum to minimum ratio of no greater than 3:1 throughout parking areas in order to minimize excessive “hot spots”.
 - c. Lighting levels at a property line abutting a residential use shall not exceed 0.1 foot-candles.
2. Light Pole and Fixture Design
 - a. Site lighting and street lighting shall be decorative fixtures and poles. Fixture and pole details shall be approved by the Planning Board.
 - b. Light poles shall be rust proof metal, cast iron, fiberglass, or similar decorative material subject to review and approval by the Planning Board.
 - c. Building mounted light fixtures shall be designed to be architecturally compatible with the details of the building and other lighting fixtures used on site. Flood lights shall not be permitted.
 - d. Light fixtures shall utilize LEDs and should have dimmable controls and programmable timers to manage lighting levels and maximize energy efficiency.

- e. Lighting fixtures shall be downcast and shielded to prevent glare and excessive light spillage that will impact neighboring properties.
- f. Light fixture mounting height shall not exceed twenty (20') feet.

Off-Street Parking and Circulation Design

1. Parking Stalls shall be a minimum of nine (9') feet wide by eighteen (18') feet deep.
2. Site driveways, drive aisles around the building, and drop off / loading areas shall be of sufficient width to allow emergency vehicles to safely and efficiently circulate throughout the site.
3. Drive aisles between rows of parking shall conform to the following standards:
 - a. For 90-degree parking stalls
 - i. Twenty-four (24') feet for two-way operation.
 - b. For 60-degree angled parking stalls
 - i. Twenty (20') feet for two-way operation, twelve (12') feet for one-way operation.
 - c. For 45-degree angled parking stalls
 - i. Eighteen (18') feet for two-way operation, ten (10') feet for one-way operation.
4. Sidewalks

- a. Sidewalks shall be provided along all street frontages. Where sidewalks exist, they shall be repaired, improved or replaced as necessary during the course of redevelopment of the site.
- b. The developer shall work with Morris Township, Morristown, and NJDOT to ensure that the Mount Kemble Avenue / US-202 corridor along the Redevelopment Area frontage is improved with pedestrian amenities and complete streets elements as deemed appropriate.

5. Transit Facilities

- a. NJ Transit bus service currently stops in front of the AHS property. The redeveloper shall provide a bus stop shelter with benches where feasible.

Screening of Mechanical Equipment and Dumpsters

1. All mechanical equipment, both roof and ground mounted shall be screened from view in a manner consistent with the architectural aesthetic of the principal structures.
2. Dumpster enclosures shall consist of a solid block wall a minimum of six feet in height with a solid gate.

Signage

All sign details shall be reviewed by the Planning Board at the time of site plan application.

1. One (1) monument sign (a freestanding sign in which the entire bottom is in contact with, or close to the ground) shall be permitted per District.
2. A monument sign shall not be permitted to exceed twenty (20) square feet in area.
3. A monument sign shall not be permitted to exceed five (5') feet in height.
4. A monument sign shall be setback a minimum of five (5') feet from all property lines.
5. Directional / wayfinding signage shall be permitted in locations subject to approval by the Planning Board. Each directional sign shall not exceed two (2) square feet in area or two (2') feet in height.
6. One building mounted identification sign shall be permitted per building. A building mounted sign shall not exceed ten (10) square feet in area.

Storm Water Management

Redevelopment of the site will be required to adhere to the storm water management standards found in Chapter 434, and Chapter 57-165 of the Township Code.

Development Proposals across Municipal Boundaries

The AHS properties are currently split by the municipal boundary between Morris Township and Morristown. Each municipality will retain jurisdiction over its portion of the site for zoning and development review purposes. However, the effective redevelopment of the Area may necessitate the placement of buildings, site elements, and infrastructure across the municipal boundary. The municipalities and their professionals should be cognizant of the shared stewardship of the property and collaborate to the extent possible with the redeveloper to ensure that the site can be redeveloped in a successful manner.

CONFORMANCE WITH TOWNSHIP OBJECTIVES

The Township's most recent complete Master Plan was adopted in 1994. Since that time, three reexamination reports have been prepared to evaluate changes in conditions, assumptions, and policies that have taken place. The reexamination reports generally build on each other and carry the 1994 Plan's recommendations forward. The most recent reexamination report, which is relevant for the purposes of this review, was prepared in 2017. The previous reports were prepared in 2000 and 2007.

Master Plan Reexamination Report (2017)

The Township adopted its most recent reexamination report in August, 2017. The following goals, objectives, and policies in the reexamination report are relevant to the Area and the formulation of this Redevelopment Plan:

- Preservation of the residential character of the community.
- Consider ways to improve inter-municipal and regional impact management related to planning, development impacts, and redevelopment initiatives.
- Promote conservation and environmental sustainability; encourage tree preservation.
- The Township is located entirely in the Highlands Planning Area, from which it has elected to opt-out.

- The Township should evaluate the RA-15 Zone along Mount Kemble Avenue between Spring Brook Country Club and the AHS Property. There is development pressure to convert single family residential uses to multi-family residential in this area.
- The redevelopment section of the reexamination report references the designation of the AHS properties as an area in need of redevelopment and rehabilitation and recommends that the planning process move forward after Morristown has taken action with regard to the remainder of the property.

This Plan is substantially consistent with and designed to effectuate the Township's Master Plan and its Reexamination Reports.

RELATIONSHIP TO OTHER PLANS

State Development and Redevelopment Plan (SDRP)

In 2001, the State Planning Commission adopted the State Development and Redevelopment Plan (SDRP). The SDRP is a document that, while not binding, guides State-level development and redevelopment policy as well as local and regional planning efforts. Eight statewide goals are articulated in the Plan, along with dozens of corresponding implementation policies. The goals are as follows:

1. Revitalize the State's cities and towns.
2. Conserve the State's natural resources and systems.
3. Promote beneficial economic growth, development and renewal for all New Jersey residents.
4. Protect the environment, prevent and clean up pollution.
5. Provide adequate public facilities and services at a reasonable cost.
6. Provide adequate housing at a reasonable cost.
7. Preserve and enhance areas with historic, cultural, scenic, open space, and recreational value.
8. Ensure sound and integrated planning and implementation statewide.

This Plan meets stated goals 1, 2, 6, and 8 of the SDRP.

- The intended redevelopment of the outdated medical facility will bring a productive use to the site for the future.
- The Plan requires the preservation of portions of the Area that are steeply sloped and wooded.
- The Plan mandates an affordable housing set-aside that will provide a public benefit and help the Township address its legal obligation.
- The Plan encourages inter-municipal cooperation in the planning and redevelopment of the AHS property that is split across municipal lines.

The SDRP also includes a State Plan Policy Map, which divides the state into regions known as Planning Areas. This Redevelopment Area is located in the Metropolitan Planning Area (PA-1), which is characterized by intensive existing development and is the target for redevelopment efforts. The goals for PA-1 include the following:

1. Provide for much of the state's future redevelopment.
2. Revitalize cities and towns.
3. Promote growth in compact forms.
4. Stabilize older suburbs.
5. Redesign areas of sprawl.
6. Protect the character of existing stable communities.

This Plan meets stated goals 1, 3, and 6 for Planning Area 1.

- The redevelopment project promotes the reuse and revitalization of a parcel whose current improvements are outdated.
- The redevelopment of a previously disturbed and developed site is consistent with concept of promoting growth in compact forms.
- The concentration of areas of higher residential density along the Township's border with the more densely developed community of Morristown helps protect the character of less densely developed portions of the Township.

State Strategic Plan

The final draft of the State Strategic Plan was released in 2012. While the State Strategic Plan has not been officially adopted, and the SDRP is still the official State Plan, it is still prudent to review the relationship between this Plan and the State Strategic Plan Draft. This Plan is consistent with the stated goals of the State Strategic Plan. This Plan exemplifies the guiding principle of "Spatial Efficiency", where new development is encouraged to be located in areas where infrastructure is already in place to support growth.

This Plan meets the following "Garden State Values" of the State Strategic Plan:

- Prioritize Redevelopment, infill, and existing infrastructure;
- Create high-quality, livable places;
- Diversify housing opportunities.

Morris County Plans

Morris County Master Plan

The Morris County Master Plan is organized into eight elements:

- Bicycle and Pedestrian Element (1998)
- Circulation Element (1992)
- Farmland Preservation Element (2008)
- Future Land Use Element (1975)
- Historic Preservation Element (1976)
- Open Space Element (1988)
- Wastewater Management Plan Element (1985)
- Water Supply Element (1994)

Most of these plan elements are several decades old and there have been substantial changes in all of these areas since the elements were written and adopted.

State of the County Report, 2013

Morris County has prepared periodic status updates and summaries of demographic information and trends. Several topics addressed in the Report are relevant to this Plan.

- Morris County has seen a substantial increase in median home prices and despite the recession in the late 2000s, saw significant new construction of rental units.
- The Report acknowledges that redevelopment will play an increasing role in residential and non-residential growth.

Master Plans of Adjacent Municipalities

The Redevelopment Area is abuts the municipal boundary with Morristown. The AHS property, and the main structure on the site are split by the municipal boundary. The successful redevelopment of the AHS Mount Kemble site will require complementary land use policies in the Township and the Town. The following is a brief discussion of relevant points from the Morristown Master Plan:

Morristown Master Plan, 2014

Land Use Element

The existing land use map shows the portion of the AHS property in Morristown in the H-1 Hospital (Modified) Zone. The properties on the opposite side of the street are in the RT-1 One- and Two-Family Residential Zone.

The future land use map, called the "Community Form Plan", shows the AHS property and the adjacent corridor along the north side of Mount Kemble Avenue in the CR-2 Corridor

Residential High Density Area. The proposed CR-2 Zone states that multifamily buildings should be the dominant type of development and that there should be shallow setbacks from the sidewalk. Low- and mid-rise building heights are permitted and increased density is envisioned.

The Town released a draft Zoning Ordinance Update in September 2017 to implement the recommendations in the land use element. The Ordinance is still in the process of being adopted.

ADMINISTRATIVE AND PROCEDURAL REQUIREMENTS

Redevelopment Entity

The Township Committee shall serve as the Redevelopment Entity to implement this Redevelopment Plan. The Redevelopment Entity must designate a redeveloper prior to the submission of an application for any approval to the Planning Board.

Property to be Acquired

The Area has been designated as a non-condemnation redevelopment area and an area in need of rehabilitation. No property acquisition through the use of eminent domain is authorized or anticipated as a part of this Plan.

Relocation Assistance

The Area consists of an institutional medical use, a retail business, and two residences. Eminent domain is not authorized as part of this plan and any transfer of property and subsequent relocation requirements are purely voluntary so no plan for relocation assistance is necessary.

Affordable Housing

There are two residential properties in the Redevelopment Area, but neither of them qualifies as affordable housing units. Consequently, there are no affordable housing units identified

for removal as part of the implementation of this redevelopment Plan.

Provision of New Affordable Housing Units

Redevelopment Plans may require the provision of affordable housing units per the Local Redevelopment and Housing Law (N.J.S.A. 40A:12A-7.b). In conformance with the Township's Court-approved settlement agreement, residential development within the Redevelopment Area is required to produce 23 affordable, family-rental units.

Residential units shall be developed in conformance with the approved settlement agreement, and all affordable housing units shall comply with the Uniform Housing Affordability Controls (UHAC), N.J.A.C. 5:80-26.1, et. seq. or any successor legislation, with the exception that in lieu of 10% of affordable units in rental projects being required to be affordable to households earning at or below 35% of the regional median income, 13% of affordable units in such projects are required to be affordable to households earning at or below 30% of the regional median household income.

Amending the Redevelopment Plan

Upon compliance with the requirements of applicable law, the Morris Township Committee may amend, revise or modify this

Redevelopment Plan, as circumstances may make such changes appropriate.

Duration of the Redevelopment Plan

This Redevelopment Plan shall be in full force and effect for a period of thirty (30) years from the date of approval of this Plan by the Township Committee.